



BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	100 and Administration
ROOF SQ FT	16,000

ROOF CONSTRUCTION										
ROOF AGE	2006	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

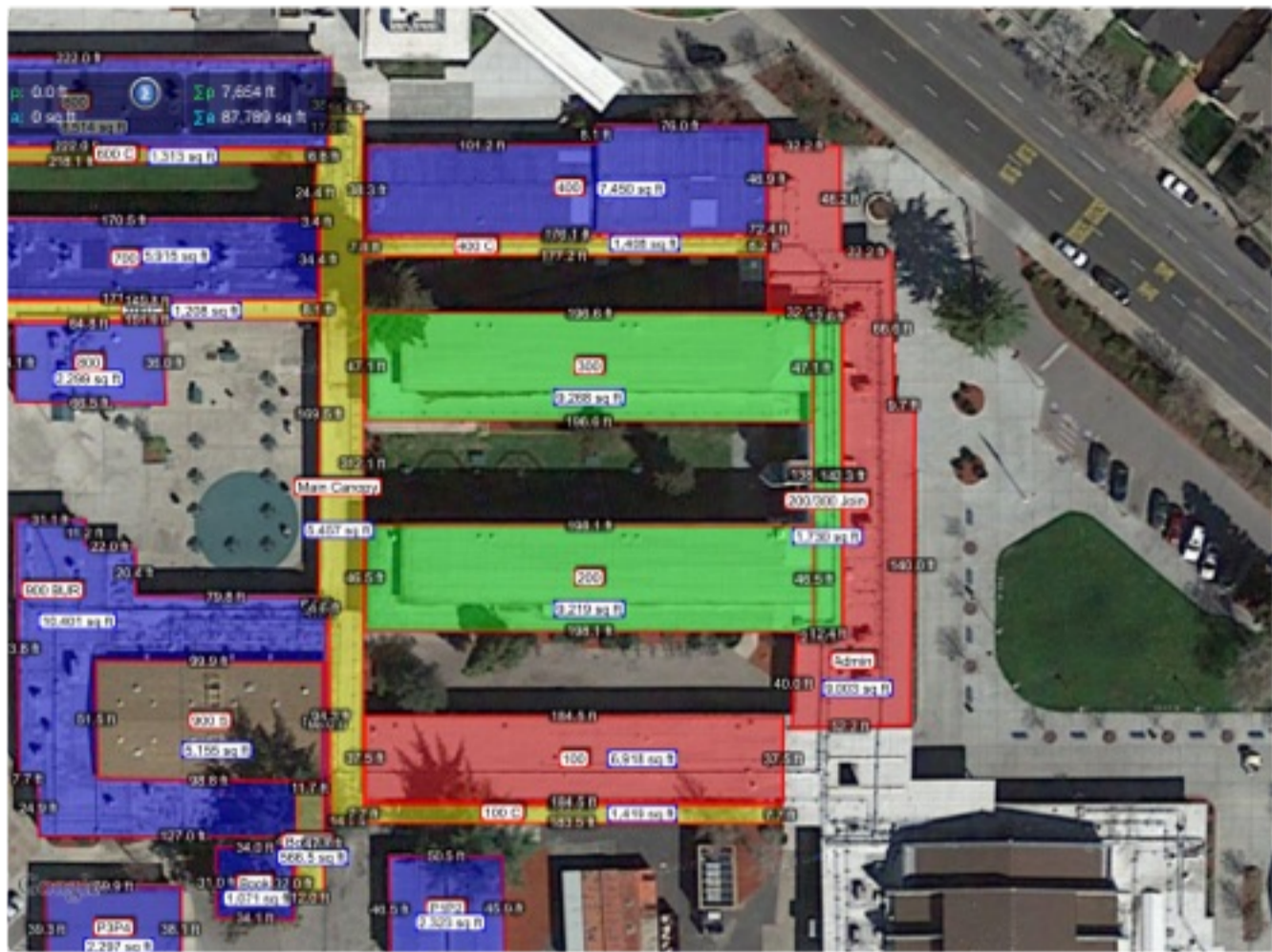
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	RESEAL SEAMS	<input type="checkbox"/>	SLIGHT RIDGING	<input checked="" type="checkbox"/>	SS RATING
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>	
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>	
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>	
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input checked="" type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>	
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>	
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR SUSPECTED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF IS SHOWING SOME AGE HOWEVER NO REPAIRS ARE NEEDED. THE ADJACENT CANOPY IS IN POOR CONDITION.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$2,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$240,000.00

An aerial view of the building.



An overview photo from the roof level.



Although the gutters are not rusting it is recommended to coat them when re-roofed.



The base flashing on the Admin building is showing signs of aging - some craze cracking.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	1000
ROOF SQ FT	16,400

ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>	
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>	
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>	
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>	
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>	
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR SUSPECTED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF IS AGING WELL - NO REPAIRS NEEDED. THE GUTTERS ARE RUSTING QUITE HEAVILY HOWEVER - CONSIDER ADDING GUTTER COATING TO THE SCOPE OF ANOTHER ROOF PROJECT.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$246,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows some normal aging - the roof should last another five-plus years.



The photo below shows the heavy rust in the gutters - coating them should be considered.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	1300
ROOF SQ FT	11,500

ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input checked="" type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

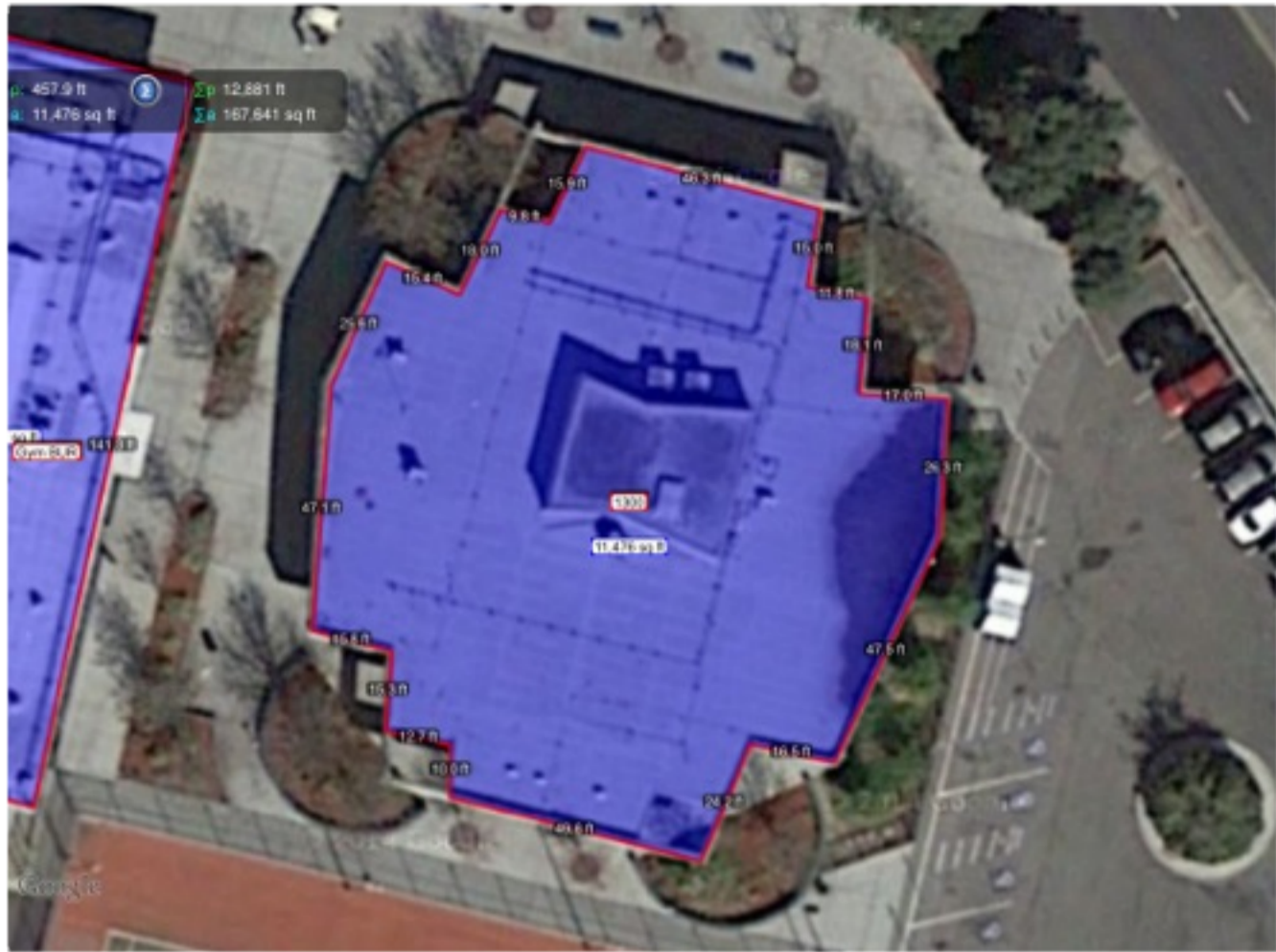
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL SEAMS	<input type="checkbox"/>	RIDGING THROUGHOUT	<input checked="" type="checkbox"/>			SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>				
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>						
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>				
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR SUSPECTED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS	<input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 ALTHOUGH IN BAD SHAPE FOR ITS AGE, WITH REPAIRS THE SYSTEM SHOULD LAST ANOTHER FIVE YEARS. HOWEVER THE FIELD RIDGING IS TOO NUMEROUS TO REPAIR AND MAY DICTATE WHEN THE SYSTEM ULTIMATELY FAILS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$15,000.00
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$172,500.00

An aerial view of the building.



An overview photo from the roof level.



All flashing and penetration seams/joints need to be resealed.



The photo below shows the edge detail failing.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	200 and 300
ROOF SQ FT	20,000

ROOF CONSTRUCTION										
ROOF AGE	1995	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

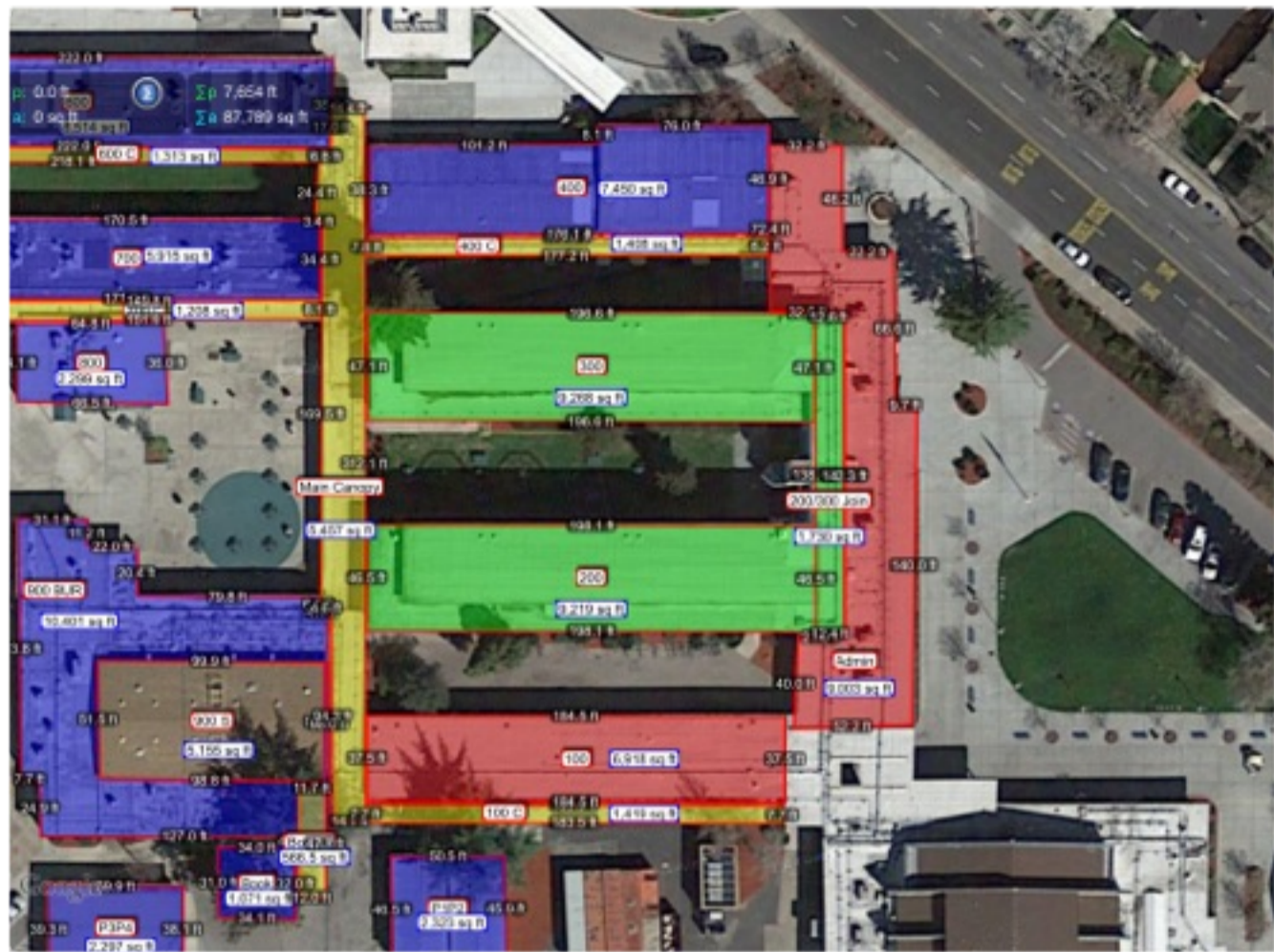
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	2
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input checked="" type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>				
	EXCESSIVE WEAR	<input checked="" type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input checked="" type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input checked="" type="checkbox"/>				
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input checked="" type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	2
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>						
	IMPROVE ROOF ACCESS	<input checked="" type="checkbox"/>	ADD EXTERNAL LADDER	<input checked="" type="checkbox"/>				
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR SUSPECTED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS	<input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 ALTHOUGH THESE TWO ROOFS LOOK MUCH BETTER THAN 400, 600, AND 700 THEY ARE MANY YEARS PAST THEIR EXPECTED LIFESPAN. CORE CUTS REVEALED THE DECK AS HAVING EXTENSIVE DRYROT - AT LEAST AROUND THE PERIMETER EAVES. IT IS UNSAFE TO WALK ON THE ROOF PERIMETER.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINTENANCE	\$2,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$300,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows excessive ponding and signs of leaks.



It is suspected that most of the decking over the eaves has dryrot.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	500
ROOF SQ FT	14,500

ROOF CONSTRUCTION										
ROOF AGE	2012	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input checked="" type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input checked="" type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	SLIGHT	<input checked="" type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	7
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS	<input checked="" type="checkbox"/>			SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>				
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input checked="" type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>					RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT EDGE	<input checked="" type="checkbox"/>			SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>						
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input checked="" type="checkbox"/>				
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR SUSPECTED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING			
VERY POOR		REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR		REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR		REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL		REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD		REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT		ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 THIS IS A NEW ROOF AND SHOULD LAST FIFTEEN YEARS. HOWEVER IT IS LEAKING AND HAS SOME BLISTERS THAT NEED TO BE REPAIRED - HOPEFULLY UNDER WARRANTY. THE BLISTERS ARE A SIGN OF MOISTURE UNDER THE FELTS. ALSO REPAIR GAPS AT EDGE METAL PONDING LOCATIONS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	UNDER WARRANTY
YEARLY PREVENTIVE MAINTENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$217,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows a large blister close to the hatch.



The photo below shows some ponding at the edge flashing.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	600, 600 Canopy, 700, and 400
ROOF SQ FT	23,500

ROOF CONSTRUCTION										
ROOF AGE	1995	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input checked="" type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input checked="" type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	1
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED		
	DECK REPAIR SUSPECTED	<input checked="" type="checkbox"/>	RESEAL/RPLACE FASTENERS		
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>	
	EXCESSIVE WEAR	<input checked="" type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input checked="" type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>	
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>	
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input checked="" type="checkbox"/>	ADD EXTERNAL LADDER	<input checked="" type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input checked="" type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO
				<input type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 MANY OF THE PENETRATION CAP FLASHING CAN BE REUSED. MANY OF THE PIPE SUPPORTS CAN BE REUSED. THE 600 CANOPY NEEDS TO BE ADDED TO THE SCOPE.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$3,000.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$352,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the fibers exposed - the roof is well past it's end.



The attached canopy needs to be added to the Scope for roof replacement.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	800
ROOF SQ FT	2,300

ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE		
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING		
		<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL		
	RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE		
		<input type="checkbox"/>			
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR SUSPECTED	<input checked="" type="checkbox"/>	
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
THIS ROOF IS AGING WELL - NO REPAIRS NEEDED.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$750.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$34,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows that the AC ducts may need to be resealed soon.



Prevent AC units from leaking directly on the roof.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	900 BUR
ROOF SQ FT	10,000

ROOF CONSTRUCTION										
ROOF AGE	1995	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input checked="" type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input checked="" type="checkbox"/>	GRANULE	<input checked="" type="checkbox"/>	2 SYSTEMS	<input checked="" type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS						#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>			RATING	1
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input checked="" type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>		
	EXCESSIVE WEAR	<input checked="" type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input checked="" type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>			RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input checked="" type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>				
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>	HVAC REPAIR NEEDED	<input checked="" type="checkbox"/>		
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input checked="" type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS	<input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF SHOULD BE INCLUDED IN THE CURRENT ROOF REPLACEMENT SCOPE. MANY OF THE PIPE SUPPORTS CAN BE REUSED.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$150,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the fibers exposed - the roof is well past it's end.



Some repairs are needed on AC units.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	900 Shingle Section
ROOF SQ FT	5,200

ROOF CONSTRUCTION										
ROOF AGE	1995	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input checked="" type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	SHINGLE	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE		
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING		
		<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL		
	RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER		
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	5
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE		
		<input type="checkbox"/>			
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
					<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF SHOULD LAST ANOTHER 10 YEARS. INCLUDE THE GUTTER WORK WITH THE BUR REPLACEMENT.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$0.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$78,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the gutters are rusting heavily.



The shingles are showing some wear.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Boiler
ROOF SQ FT	2,080

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input checked="" type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS						#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>		
	EXCESSIVE WEAR	<input checked="" type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input checked="" type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>			RATING	2
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input checked="" type="checkbox"/>		
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input checked="" type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>			RATING	3
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input checked="" type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>				
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>		
	REMOVE DEAD EQUIPMENT	<input checked="" type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 SPOT REPAIRS ONLY AND BUDGET TO REPLACE THIS ROOF AS SOON AS POSSIBLE.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$1,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$31,200.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the need for penetration repairs.



The photo below shows the need for the wall to be sealed and coated.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Book Room and Book Room Canopy
ROOF SQ FT	1,100

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	3-PLY	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input checked="" type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>				
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	
	RESEAL/RECOAT AC DUCT	<input checked="" type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>						
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>				
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING			
VERY POOR		REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR		REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input checked="" type="checkbox"/>
FAIR		REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL		REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD		REPLACE OR COAT IN 10-15 YEARS	<input type="checkbox"/>
EXCELLENT		ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF IS IN POOR CONDITION YET IN BETTER SHAPE THAN THE MULTIPURPOSE BUR SYSTEM. THAT BEING SAID IT IS STILL RECOMMENDED TO REPLACE THE ROOF - THE ADJACENT CANOPY SHOULD BE INCLUDED.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$750.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$16,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the AC ducts in need of being resealed and recoated.



The Book Room Canopy should be added to the scope for roof replacement.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Child Care
ROOF SQ FT	8,000

ROOF CONSTRUCTION										
ROOF AGE	2011	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

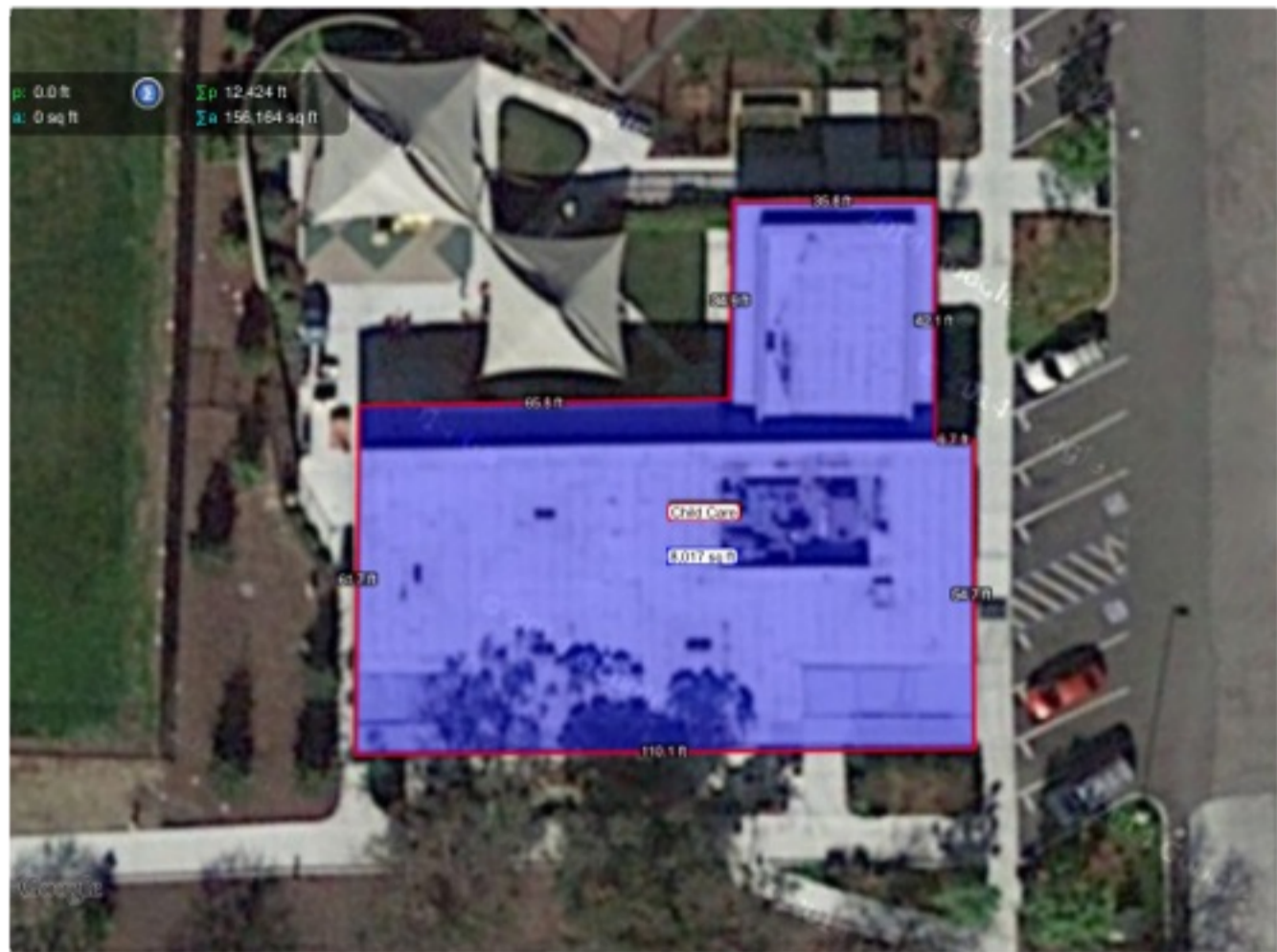
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>				
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input checked="" type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>						
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>				
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING			
VERY POOR		REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR		REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR		REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL		REPLACE OR COAT IN 5-10 YEARS	<input checked="" type="checkbox"/>
GOOD		REPLACE OR COAT IN 10-15 YEARS	<input type="checkbox"/>
EXCELLENT		ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 THE UPPER LEVEL HAS QUITE A FEW REPAIRS FOR A NEW ROOF. PONDING AT THE PERIMETER EDGE IS A PROBLEM. THE ROOF WILL SIMPLY NEED MORE THAN NORMAL MAINTENANCE. THE LOWER ROOFS LOOK GOOD.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$2,000.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$120,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows ponding and leaking issues at the perimeter of the upper roof.



The photo below shows the lower levels in better shape.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Fire Service
ROOF SQ FT	3,800

ROOF CONSTRUCTION										
ROOF AGE	2012	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

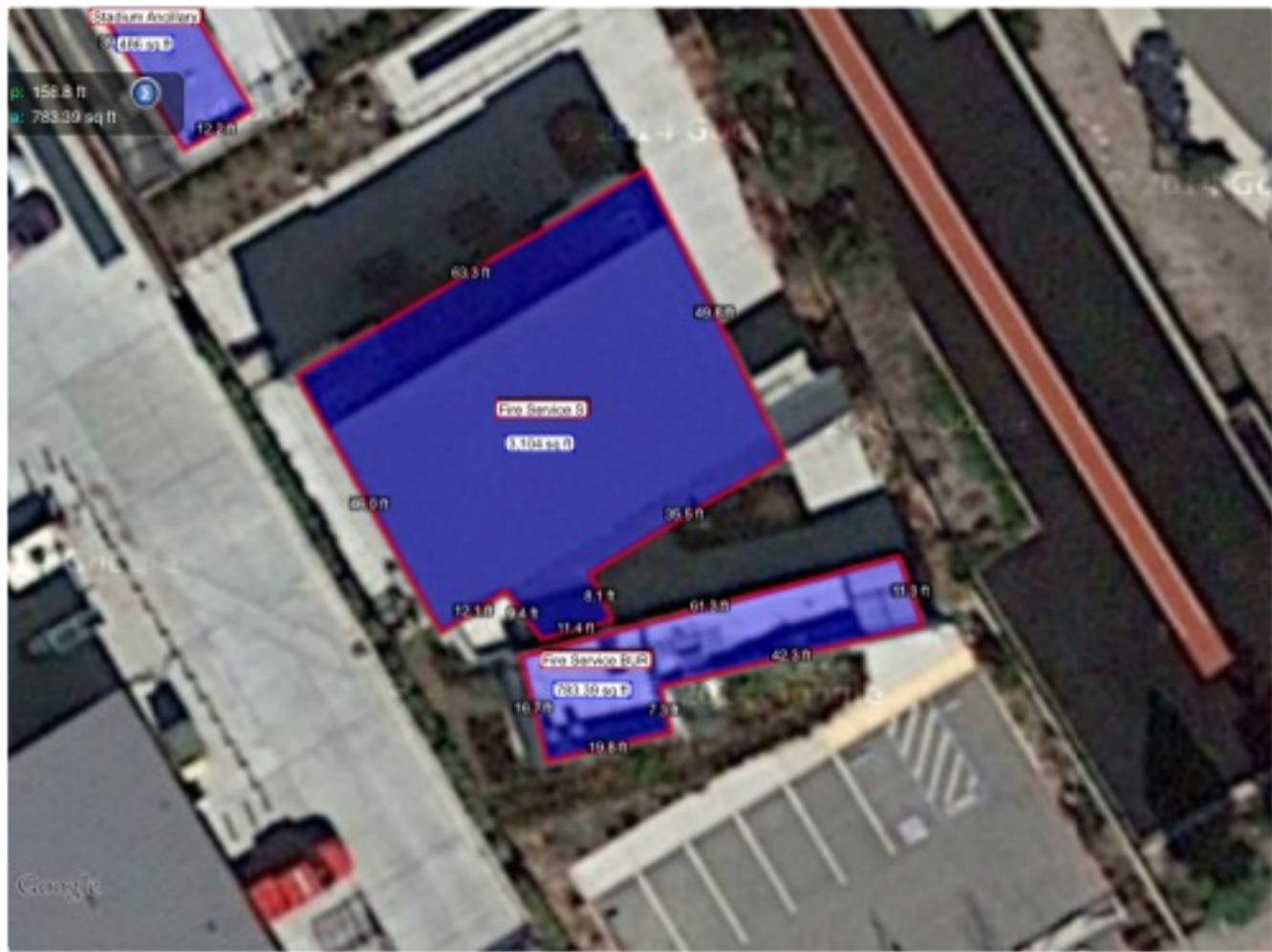
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	SS RATING	8
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE		
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING		
		<input type="checkbox"/>			
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	SS RATING	8
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL		
	RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE		
		<input type="checkbox"/>			
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>			
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

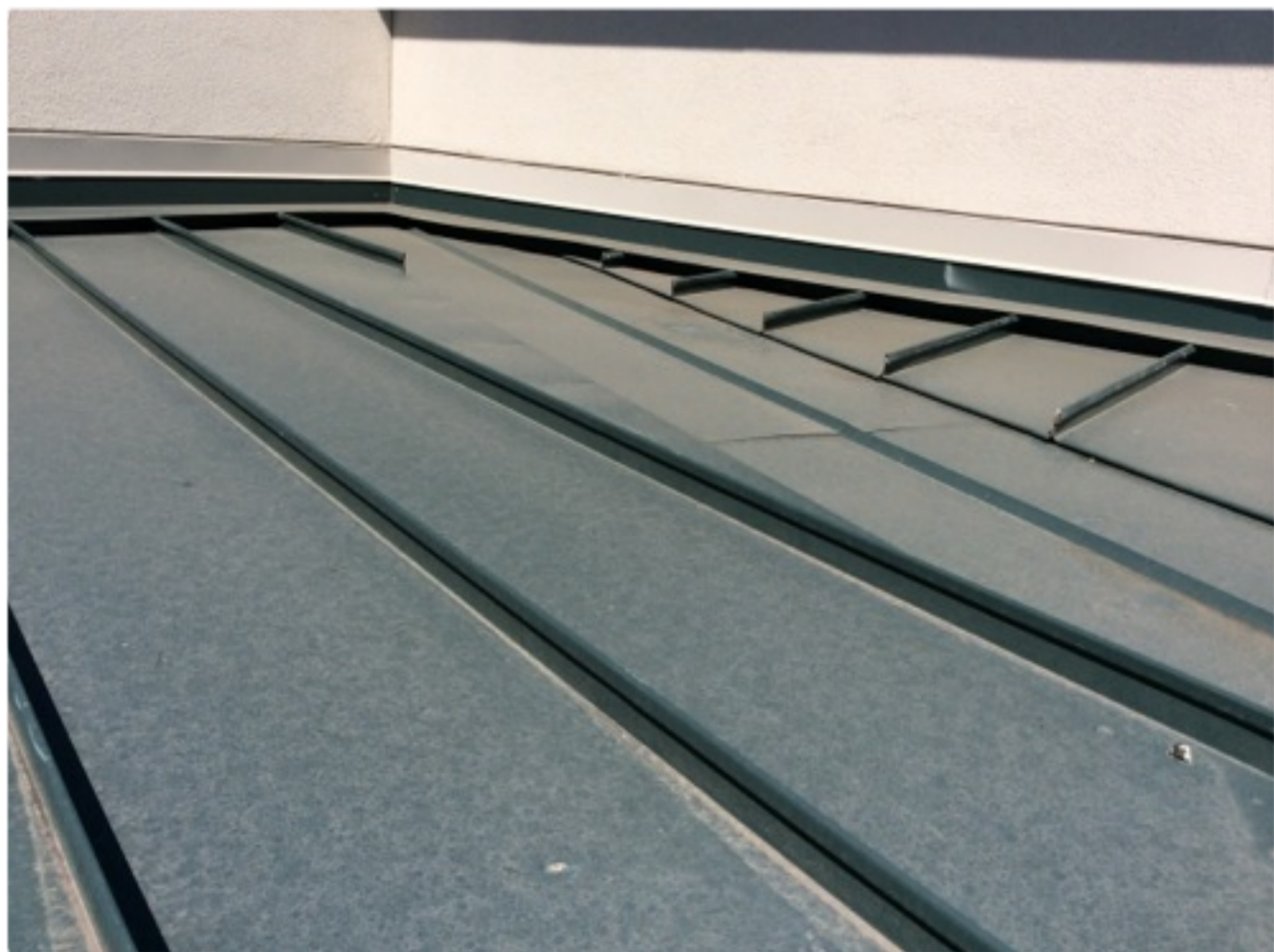
ADDITIONAL NOTES
 BOTH ROOF SYSTEMS ARE NEW AND IN GREAT SHAPE.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
SS ROOF RECOATING	\$30,000.00
BUR ROOF REPLACEMENT	\$12,000.00

An aerial view of the building.



An overview photo from the roof level.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Gym BUR
ROOF SQ FT	20,000

ROOF CONSTRUCTION										
ROOF AGE	2002	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input checked="" type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>	SMOOTH	<input checked="" type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>	
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>	
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>	
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input checked="" type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>	
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>	
DRAINAGE	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	4
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input checked="" type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input checked="" type="checkbox"/>		RATING	4
	RESEAL/REPAIR ALL	<input checked="" type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input checked="" type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input checked="" type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 WITH REPAIRS THIS ROOF SHOULD LAST ANOTHER FIVE YEARS. GUTTER REPAIR AND COATING WOULD NOT BE PART OF THE REPAIR SCOPE - ADD TO REROOF SCOPE IN A FEW YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$20,000.00
YEARLY PREVENTIVE MAINENANCE	\$1,500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$300,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the need for penetration repairs.



Some drains need to be cleared and debris removed.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Gym Shingle Section
ROOF SQ FT	11,000

ROOF CONSTRUCTION										
ROOF AGE	2002	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	SHINGLE	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS								#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>					RATING	5
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>			SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>				
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>				
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>				
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>				
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>					RATING	8
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>				
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>					RATING	2
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>			SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>				
	RESEAL WALL FLASHING	<input type="checkbox"/>	EXCESSIVE FLASHING DAMAGE	<input checked="" type="checkbox"/>				
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>					RATING	3
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>				
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>				
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>				
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>					RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>				
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>				
		<input type="checkbox"/>		<input type="checkbox"/>				
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>						
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>				
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>				
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>				
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>				
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>				
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>				
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>		

ROOF CONDITION - OVERALL SYSTEM RATING		
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY	<input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY	<input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS	<input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS	<input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS	<input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD	<input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF SHOULD LAST ANOTHER 10 YEARS PLUS. INCLUDE THE GUTTER WORK WITH THE BUR REPLACEMENT. ALL FLASHINGS ARE DAMAGED FROM BEING REUSED WHEN LAST REROOFED - HOWEVER THEY SEEM TO BE FUNCTIONAL. THIS MAY BE A PROBLEM THOUGH WITH A LARGE STORM.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$1,000.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$165,000.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the cap flashing in bad shape.



The wall flashing is quite rough and may eventually cause problems in the system.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Main Canopy, 400 Canopy, 700 Canopy, 100 Canopy
ROOF SQ FT	9,700

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input checked="" type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input checked="" type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

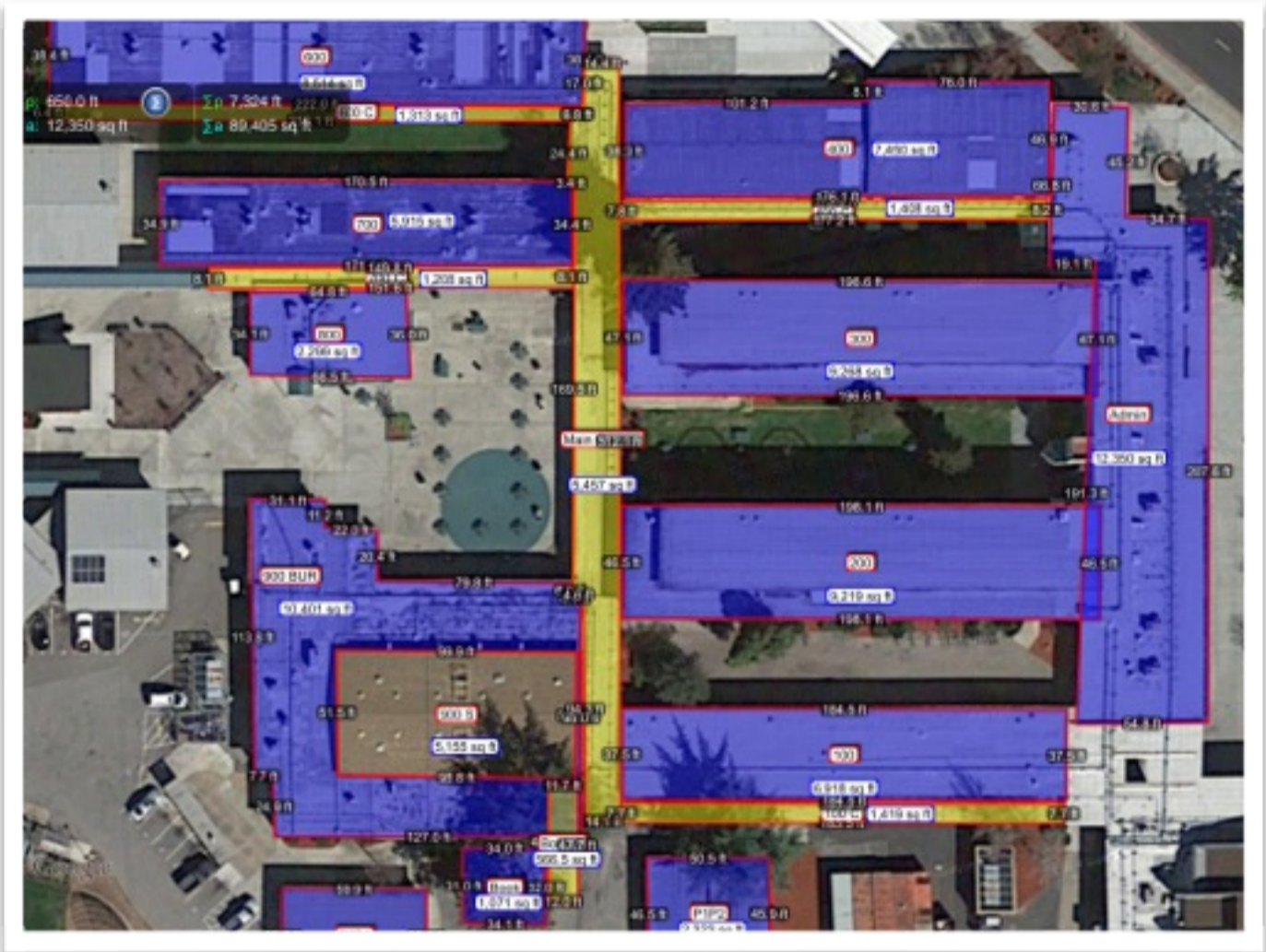
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	2
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED		
	DECK REPAIR SUSPECTED	<input checked="" type="checkbox"/>	RESEAL/RPLACE FASTENERS		
	CRAZE CRACKING	<input checked="" type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>	
	EXCESSIVE WEAR	<input checked="" type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input checked="" type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input checked="" type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL		
	RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	ADD/ENHANCE CRICKETS	<input checked="" type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input checked="" type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THESE CANOPIES ARE IN POOR CONDITION. SPOT REPAIR ONLY AND BUDGET FOR REPLACEMENT.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$3,000.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$145,500.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows excessive ponding next to building 700.



The roof is worn and close to exposing the membrane fibers.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	P1 and P2
ROOF SQ FT	2,300

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS						#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>		
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>			RATING	5
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input checked="" type="checkbox"/>	GUTTER COATING NEEDED	<input checked="" type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>			RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>				
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input checked="" type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP GUTTERS CLEAR	<input checked="" type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 SPOT REPAIR AND BUDGET TO RECOAT THE ROOF WITHIN TWO YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$500.00
ROOF RECOATING	\$23,000.00
ROOF REPLACEMENT	\$0.00

An aerial view of the building.



An overview photo from the roof level.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	P3 and P4
ROOF SQ FT	2,300

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input checked="" type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input checked="" type="checkbox"/>	
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input checked="" type="checkbox"/>	
	SOME PONDING	<input checked="" type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL		
	RESEAL WALL FLASHING	<input type="checkbox"/>			
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input checked="" type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input checked="" type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO
				<input type="checkbox"/>	

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input checked="" type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF IS IN POOR CONDITION YET IN BETTER SHAPE THAN THE MULTIPURPOSE BUR SYSTEM. THAT BEING SAID IT IS STILL RECOMMENDED TO REPLACE THE ROOF.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$750.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$34,500.00

An aerial view of the building.



An overview photo from the roof level.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Pool Treatment
ROOF SQ FT	750

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS						#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>			RATING	6
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>		
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>			RATING	6
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>			RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>			RATING	6
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>			RATING	6
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>				
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THIS ROOF IS AGING WELL BUT IS SUSPECTED TO BE OLD. A BUR SYSTEM HAS A LIFESPAN OF 10-20 YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$500.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$11,250.00

An aerial view of the building.



An overview photo from the roof level.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Pressbox
ROOF SQ FT	200

ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL PLATE	<input checked="" type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	SHINGLE	<input type="checkbox"/>
MEM SURFACE	COATING	<input checked="" type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input checked="" type="checkbox"/>		<input type="checkbox"/>
SLOPE	SLIGHT	<input checked="" type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>	
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>	
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>	
	EXCESSIVE WEAR	<input type="checkbox"/>	STARTING TO RUST	<input type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>	
	RESEAL WALL FLASHING	<input type="checkbox"/>	EXCESSIVE FLASHING DAMAGE	<input type="checkbox"/>	
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input checked="" type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THIS COATED STEEL PLATED ROOF IS IN GOOD SHAPE. A GOOD COATING WILL LAST 10-15 YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$200.00
ROOF RECOATING	\$2,000.00
ROOF REPLACEMENT	\$0.00

An aerial view of the building.



An overview photo from the roof level.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Restroom near 1300, 800 Awning, and the Long Awning
ROOF SQ FT	3,100

ROOF CONSTRUCTION										
ROOF AGE	UNKNOWN	<input type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input checked="" type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input checked="" type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	SHINGLE	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#	
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	4	
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>		
	EXCESSIVE WEAR	<input type="checkbox"/>	STARTING TO RUST	<input checked="" type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	8	
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	RESEAL WALL FLASHING	<input type="checkbox"/>	EXCESSIVE FLASHING DAMAGE	<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	6	
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	-	
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>				
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input checked="" type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input checked="" type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 METAL ROOFS CAN LAST FOR DECADES IF MANAGED AND MAINTAINED. THESE ROOFS ARE STARTING TO SHOW RUST - BUDGET TO RECOAT WITHIN THREE TO FIVE YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$500.00
ROOF RECOATING	\$31,000.00
ROOF REPLACEMENT	\$0.00

An aerial view of the building.



An overview photo from the roof level.



The photo below shows the beginning signs of rust.



If managed and recoated within the next few years, these roofs should last for decades.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Stadium Ancillary
ROOF SQ FT	750

ROOF CONSTRUCTION										
ROOF AGE	2012	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input checked="" type="checkbox"/>	MOD BIT	<input type="checkbox"/>	TWO SYSTEMS	<input type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input checked="" type="checkbox"/>	3-PLY	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input checked="" type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input checked="" type="checkbox"/>	GUTTERS	<input type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	NONE	<input type="checkbox"/>	1:12	<input checked="" type="checkbox"/>	2:12	<input type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

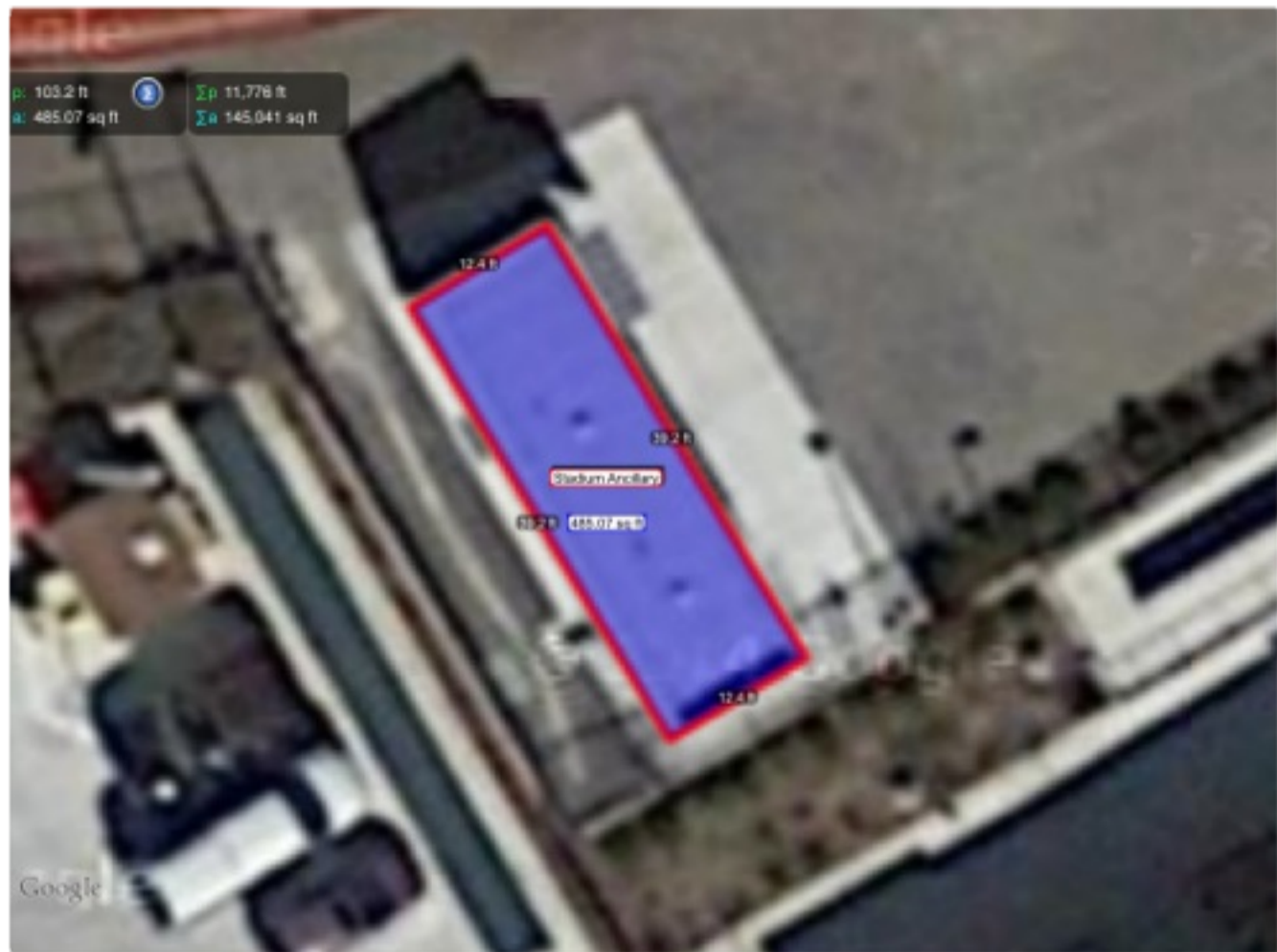
ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS						#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>			RATING	7
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	SS RATING	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>		
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>		
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>		
	EXCESSIVE WEAR	<input type="checkbox"/>	MEMBRANE FIBERS EXPOSED	<input type="checkbox"/>		
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>			RATING	7
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>		
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>			RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	SS RATING	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>		
	RESEAL WALL FLASHING	<input type="checkbox"/>		<input type="checkbox"/>		
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>			RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>		
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>		
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>		
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>			RATING	3
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>		
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>		
		<input type="checkbox"/>		<input type="checkbox"/>		
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>				
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>		
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>		
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>		
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>		
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>		
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>		
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input checked="" type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input type="checkbox"/>

ADDITIONAL NOTES
 THE ROOF IS NEW AND IN GREAT SHAPE. THE PENETRATION FLASHINGS WERE INSTALLED INCORRECTLY ON TOP OF THE MEMBRANE. THEREFORE THEY WILL NEED TO BE RESEALED EVERY 3-5 YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$750.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$11,250.00

An aerial view of the building.



An overview photo from the roof level. Reseal the penetration flashings every 3-5 years.





BUILDING INFORMATION	
FACILITY	James Lick HS
DATE	August 20, 2014
BUILDING	Ticket Booth
ROOF SQ FT	200

ROOF CONSTRUCTION										
ROOF AGE	2005	<input checked="" type="checkbox"/>	0-5 YEARS	<input type="checkbox"/>	5-10 YEARS	<input type="checkbox"/>	10-15 YEARS	<input type="checkbox"/>	15+ YEARS	<input type="checkbox"/>
DECK TYPE	METAL PLATE	<input type="checkbox"/>	PLYWOOD	<input checked="" type="checkbox"/>	PLANK	<input type="checkbox"/>	CONCRETE	<input type="checkbox"/>	LW CONCRETE	<input type="checkbox"/>
INSULATION	NONE	<input checked="" type="checkbox"/>	ISO	<input type="checkbox"/>	FIBER	<input type="checkbox"/>	PERLITE	<input type="checkbox"/>	STYRO	<input type="checkbox"/>
INSUL THICK	1 INCH	<input type="checkbox"/>	2 INCH	<input type="checkbox"/>	3 INCH	<input type="checkbox"/>	4 INCH	<input type="checkbox"/>	TAPERED	<input type="checkbox"/>
MEMBRANE	METAL SS	<input type="checkbox"/>	SINGLE PLY	<input type="checkbox"/>	BUR	<input type="checkbox"/>	MOD BIT	<input type="checkbox"/>	SHINGLE	<input checked="" type="checkbox"/>
MEM SURFACE	COATING	<input type="checkbox"/>	MS CAP	<input type="checkbox"/>	GRAVEL	<input type="checkbox"/>	SMOOTH	<input type="checkbox"/>	GRANULE	<input type="checkbox"/>
FLASHINGS	CAPSHEET	<input type="checkbox"/>	HYPALON	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
DRAINAGE	JOSAM	<input type="checkbox"/>	SCUPPERS	<input type="checkbox"/>	GUTTERS	<input checked="" type="checkbox"/>	OVER EDGE	<input type="checkbox"/>		<input type="checkbox"/>
SLOPE	SLIGHT	<input type="checkbox"/>	1:12	<input type="checkbox"/>	2:12	<input checked="" type="checkbox"/>	3:12	<input type="checkbox"/>	6:12	<input type="checkbox"/>

ROOF CONDITION - RATINGS (1-10) and RECOMMENDATIONS					#
FIELD	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	RESEAL SEAMS	<input type="checkbox"/>	REPAIR BLISTERS or RIDGING	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	DECK REPAIR NEEDED	<input type="checkbox"/>	
	DECK REPAIR SUSPECTED	<input type="checkbox"/>	RESEAL/RPLACE FASTENERS	<input type="checkbox"/>	
	CRAZE CRACKING	<input type="checkbox"/>	BRITTLE MEMBRANE	<input type="checkbox"/>	
	EXCESSIVE WEAR	<input type="checkbox"/>	STARTING TO RUST	<input type="checkbox"/>	
PITCH/POND	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	FILL PONDING AREAS	<input type="checkbox"/>	FIX DECK DEFLECTION	<input type="checkbox"/>	
	SOME PONDING	<input type="checkbox"/>	EXCESSIVE PONDING	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
FLASHING	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	RESEAL/RECOAT AC DUCT	<input type="checkbox"/>	RESEAL/RECOAT WALL	<input type="checkbox"/>	
	RESEAL WALL FLASHING	<input type="checkbox"/>	EXCESSIVE FLASHING DAMAGE	<input type="checkbox"/>	
DRAINAGE	REPAIRS NEEDED	<input type="checkbox"/>		RATING	7
	ADD/ENHANCE CRICKETS	<input type="checkbox"/>	ADD/ENHANCE OVERFLOW	<input type="checkbox"/>	
	CLEAR DRAINS	<input type="checkbox"/>	ADD GUTTER	<input type="checkbox"/>	
	GUTTER REPAIR NEEDED	<input type="checkbox"/>	GUTTER COATING NEEDED	<input type="checkbox"/>	
PENETRATION	REPAIRS NEEDED	<input type="checkbox"/>		RATING	-
	RESEAL/REPAIR ALL	<input type="checkbox"/>	RESEAL/REPAIR SELECT	<input type="checkbox"/>	
	REPLACE SKYLIGHT	<input type="checkbox"/>	RAISE HEIGHT WHEN POSSIBLE	<input type="checkbox"/>	
		<input type="checkbox"/>		<input type="checkbox"/>	
ADDITIONAL	ACTION NEEDED	<input type="checkbox"/>			
	IMPROVE ROOF ACCESS	<input type="checkbox"/>	ADD EXTERNAL LADDER	<input type="checkbox"/>	
	REMOVE DEAD EQUIPMENT	<input type="checkbox"/>		<input type="checkbox"/>	
MAINTENANCE	KEEP DRAINS CLEAN	<input type="checkbox"/>	KEEP WATERWAYS CLEAN	<input type="checkbox"/>	
	SPOT REPAIR UNTIL REROOF	<input type="checkbox"/>	TRIM TREES	<input type="checkbox"/>	
	CLEAR ROOF OF DEBRIS	<input type="checkbox"/>	HVAC REPAIR NEEDED	<input type="checkbox"/>	
	HAZMAT SUSPECTED	<input type="checkbox"/>	KEEP SS GUTTERS CLEAR	<input type="checkbox"/>	
LEAKS	EVIDENCE OF LEAKS	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO <input checked="" type="checkbox"/>

ROOF CONDITION - OVERALL SYSTEM RATING	
VERY POOR	REPLACE OR COAT IMMEDIATELY - SPOT REPAIRS ONLY <input type="checkbox"/>
POOR	REPLACE OR COAT IN 1-2 YEARS - SPOT REPAIRS ONLY <input type="checkbox"/>
FAIR	REPLACE OR COAT IN 3-5 YEARS <input type="checkbox"/>
MARGINAL	REPLACE OR COAT IN 5-10 YEARS <input type="checkbox"/>
GOOD	REPLACE OR COAT IN 10-15 YEARS <input type="checkbox"/>
EXCELLENT	ONLY IF ROOF IS LESS THAN 5 YEARS OLD <input checked="" type="checkbox"/>

ADDITIONAL NOTES
THIS SHINGLE ROOF IS IN GREAT SHAPE. IT WILL LAST 20-30 YEARS.

BUDGET ESTIMATES	
IMMEDIATE REPAIRS AS RECOMMENDED	\$0.00
YEARLY PREVENTIVE MAINENANCE	\$200.00
ROOF RECOATING	\$0.00
ROOF REPLACEMENT	\$0.00

An aerial view of the building.



An overview photo from the roof level.

